

Architectural Review Board Checklist

Please initial all items below to verify that your submittal includes all requirements:

The following items shall be submitted to the Building Department by 11:00 am, no later than 7 days prior to the regularly scheduled meeting. Plans 24" x 36" are preferred and should be folded into individual packets. If plans are not able to be 24" x 36", the smallest size possible is preferred. Plans to scale can be printed in half size.

RAS THREE (3) copies of this application

RAS THREE (3) copies of ARB plans, photographs and documentation arranged into individual packets. At least one set of plans must bear the signatures of subdivision trustees (if applicable). Items without trustee signatures will not be accepted until required signatures are obtained.

RAS ONE PDF copy of all plans that are submitted in hard copy should be emailed to aquinn@cityofladue-mo.gov. This single PDF should include the application, plan sheets and photographs and any other documentation that the Board should review.

RAS Schematic site plan at a scale of not less than one-inch equals 20 feet including the following:

- Dimensioned property lines,
- Building setback lines,
- Easements identified,
- Existing and proposed area of work,
- Location of driveways and parking areas,
- Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water. (For new residence and home additions only)
- Location of proposed landscape material (New residence only)
- Landscape material proposed to be removed (New residence only), and
- Identifying any accessory structures proposed or existing.
- Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

RAS Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions. Plans may be printed in half-size.

RAS Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations. Plans may be printed in half-size

RAS Color photographs (8.5x11 inches) of the main building located on adjoining property. Color photographs (8.5x11 inches) of all building elevations of existing structures for projects involving remodeling or additions.



Application for Architectural Review Board

*** This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

APPLICANT INFORMATION

Name of Applicant: Srote & Company - Architects

Phone #: 314-822-7006

Email address of Applicant (for review comments): ras@sroteco.com

PROJECT PROPERTY INFORMATION

Address for proposed work: 24 Woodcrest Drive

If this ARB application is amending a project that is currently under construction, list permit #: _____

Zoning District: "C"-Residential Parcel ID # (St. Louis county tax record): 20L240328

DESCRIPTION OF PROPOSED PROJECT: New custom single family residence.

Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.

X  Date: 7/27/22

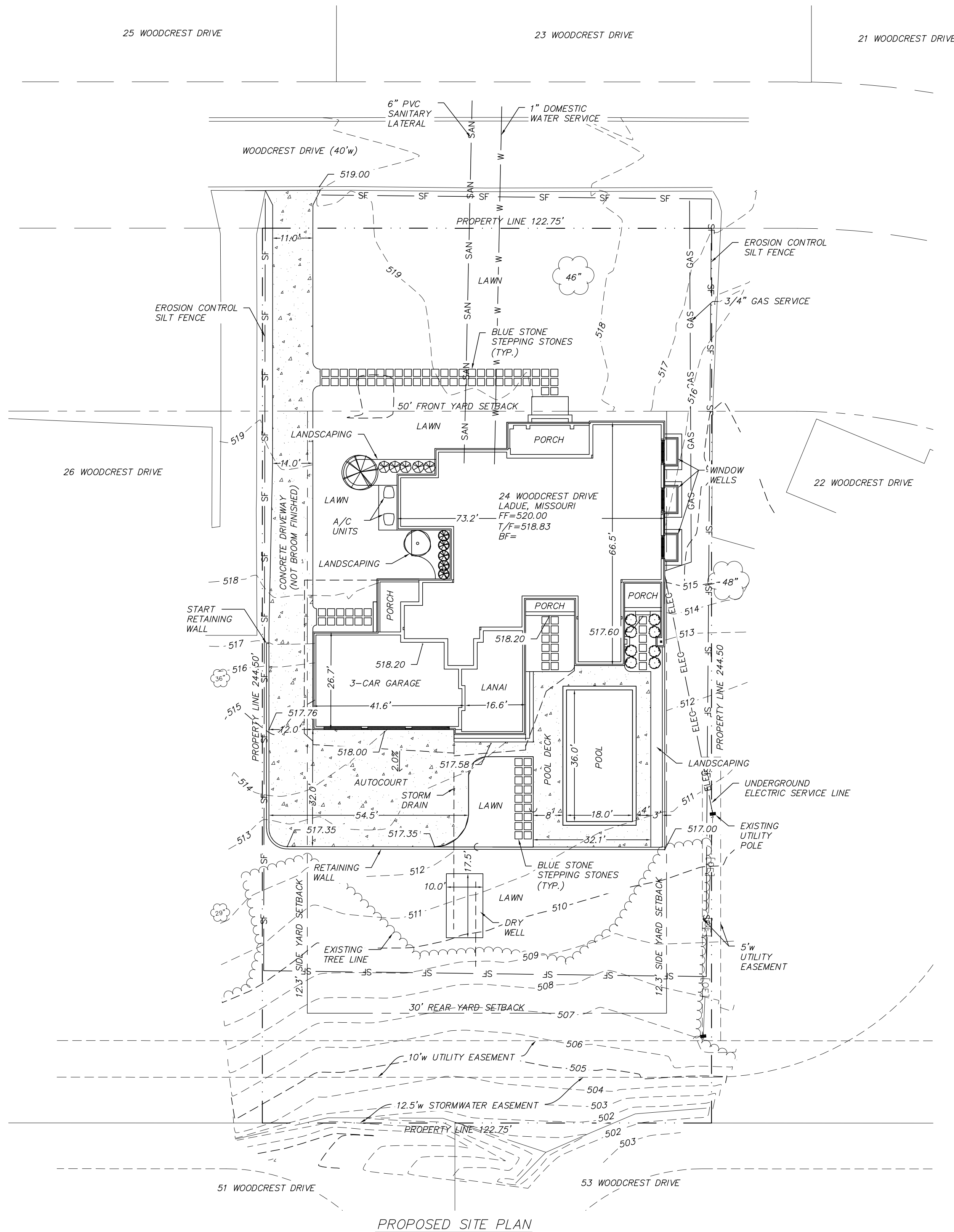
** This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*

PROPOSED SITE PLAN - 24 WOODCREST DRIVE
LADUE, MISSOURI

IMPERVIOUS AREA CALCULATIONS

TOTAL AREA = 30,012 SF = 0.69± AC	
EXISTING IMPERVIOUS AREAS	
HOUSE AND GARAGE	2,668 SF
PAVEMENTS	2,223 SF
TOTAL = 4,891 SF	
EXISTING PERVIOUS AREAS	
LAWN/LANDSCAPING	25,121 SF
PROPOSED IMPERVIOUS AREAS	
HOUSE AND GARAGE	4,605 SF
PORCHES AND COVERED PATIO	846 SF
PAVEMENTS	4,225 SF
POOL	760 SF
TOTAL = 10,436 SF	
PROPOSED PERVIOUS AREAS	
LAWN/LANDSCAPING	19,576 SF

STORMWATER RUNOFF DIFFERENTIAL CALCULATIONS	
TOTAL SITE AREA	30012 SF
EXISTING	
PERVIOUS AREA	25121 SF
PERVIOUS PERCENTAGE	83.70 %
15YR- 20MIN PI FACTOR	1.70
PERVIOUS FLOWRATE (Q)	0.98 CFS
IMPERVIOUS AREA	
IMPERVIOUS PERCENTAGE	16.30 %
15YR- 20MIN PI FACTOR	3.54
IMPERVIOUS FLOWRATE (Q)	0.40 CFS
FLOWRATE (Q)	
FLOWRATE (Q)	1.38 CFS
PROPOSED	
PERVIOUS AREA	19576 SF
PERVIOUS PERCENTAGE	65.23 %
15YR- 20MIN PI FACTOR	1.70
PERVIOUS FLOWRATE (Q)	0.76 CFS
IMPERVIOUS AREA	
IMPERVIOUS PERCENTAGE	34.77 %
15YR- 20MIN PI FACTOR	3.54
IMPERVIOUS FLOWRATE (Q)	0.85 CFS
FLOWRATE (Q)	
FLOWRATE (Q)	1.61 CFS
DIFFERENTIAL FLOWRATE	
Qpro - Qex	0.23 CFS
CONTRIBUTING AREA (DA1 + DA2)	
CONTRIBUTING AREA	2800 SF
CONTRIBUTING FLOWRATE	0.23 CFS
DRY WELL VOLUME (40% VOID RATIO)	
ROCK VOLUME REQUIRED	690 CF
ROCK PIT DEPTH	4 FT
ROCK PIT WIDTH	10 FT
ROCK PIT LENGTH	17.5 FT
ROCK PIT VOLUME	700 CF



PROPOSED SITE PLAN

GREENSPACE CALCULATIONS

EXISTING LOT: 83.7%
PROPOSED LOT: 65.2%
PROPOSED FRONT YARD: 89.8%
PROPOSED REAR YARD: 78.3%
PROPOSED SIDE YARD (WEST SIDE): 40.7%
PROPOSED SIDE YARD (EAST SIDE): 95.7%

UTILITIES NOTE

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN OR SHOWN.



Know what's below.
811 before you dig.

PROPOSED SITE PLAN
24 WOODCREST DRIVE
LADUE, MISSOURI

RAFFERTY COMPANY, LLC

Title:

Client:



SHERRILL
ASSOCIATES

Surveyors — Engineers
— Planners

ILLINOIS DESIGN FIRM
#184-001238

MISSOURI DESIGN FIRM
#001332

316 Main Street
Edwardsville, IL 62025
TEL: (618) 656-9251

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other Documents or instruments relating to or intended to be used for any part or parts of the engineering project or survey.

REVISION
NO.
DATE

PROJECT NO. 22279-01

DRAWN WDW SCALE SEE PLAN
CHECKED WDW DATE 7/26/2022

C1.0

SHEET 2 OF 3

ENGINEER'S CERTIFICATE

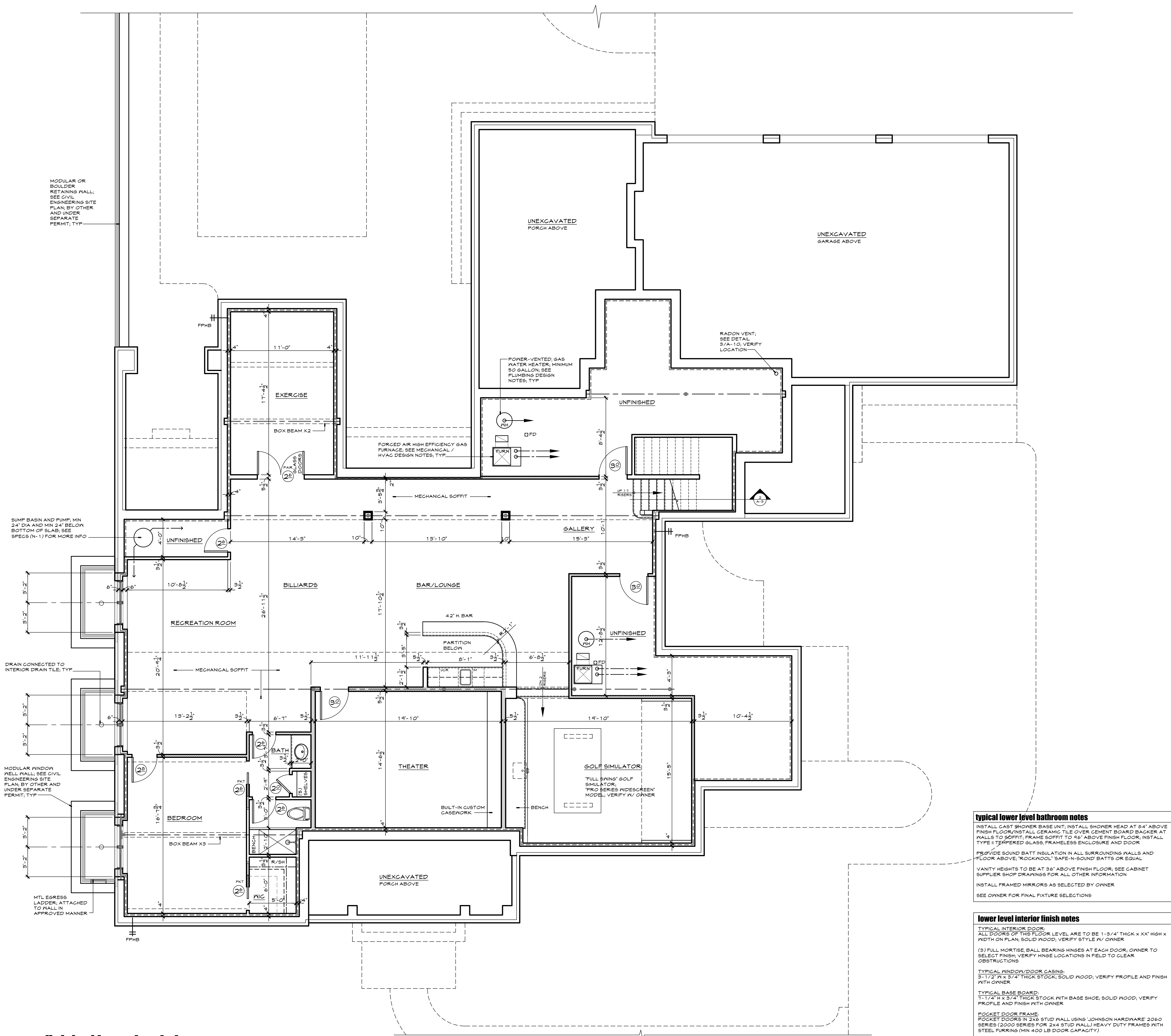
THIS IS TO CERTIFY THAT SHERRILL ASSOCIATES, INC AT THE REQUEST OF AND FOR THE EXCLUSIVE USE OF RAFFERTY COMPANY, LLC HAS PREPARED THIS PROPOSED SITE PLAN FROM RECORD SOURCES AND ACTUAL FIELD SURVEY DURING THE MONTH OF JUNE 2022.

Wilson D. Waggoner

7/27/22

WILSON D. WAGGONER, P.E. 2013019128
IN THE STATE OF MISSOURI
EXPIRES 12-31-2023





wall legend	
thermal enclosure partition (insulate & air seal)	
sound insulated partition	
masonry veneer	
cmu	

typical finished lower level notes

INSULATE CANTILEVER FLOORS TO R-30 MIN TO FILL ENTIRE JOIST CAVITY; COVER BOTTOM WITH 1/2" EXTERIOR GRADE MATERIAL; CAULK / SEAL ALL JOINTS

INSTALL SILL SEAL BENEATH ALL FRAME PARTITIONS

ALL FLOOR JOIST CAVITIES LOCATED DIRECTLY ABOVE ANY WALL SEPARATING A FINISHED AREA FROM AN UNFINISHED AREA ARE TO BE FILLED SOLID WITH MINERAL WOOL OR COMPLETELY FIREBLOCKED WITH GYPSUM BOARD

DRAFTSTOPPING:
CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFT STOPPED AT 1000 SF MAXIMUM INTERVALS PARALLEL TO MAIN FRAMING MEMBERS; SEE DETAIL X/A-10

FIREBLOCKING REQUIRED AROUND VENT, PIPE AND DUCT PENETRATIONS OF CEILINGS AND FLOORS AND AT HORIZONTAL INTERVALS NOT EXCEEDING 10'-0" WHEN A FRAMED WALL IS SET AWAY FROM THE FOUNDATION WALL

MINIMUM 1/2" GYPSUM BOARD CEILING REQUIRED AT UNDERSIDE OF ALL WOOD JOISTS, INCLUDING AT UNFINISHED AREAS; FIREBLOCKING DRAFTSTOPPING AND FIRE TAPING ARE NOT REQUIRED; HVAC METAL PLENUM TRUNK LINES AND STEEL BEAMS DO NOT NEED TO BE COVERED (GYPSUM BOARD CEILING TO BE WITHIN 2" OF THESE ITEMS)

CEILING HEIGHTS TO BE DETERMINED BY EXTENT OF DUCTWORK, STEEL BEAMS, ETC.; 1'-0" MINIMUM CEILING HEIGHT

EXCEPTIONS:
BEAMS AND GIRDERS (DECORATIVE OR STRUCTURAL) SPACED NOT LESS THAN 4'-0" ON CENTER MAY PROJECT A MAXIMUM OF 6" BELOW THE 1'-0" REQUIRED CEILING HEIGHT
CEILINGS IN BASEMENTS WITHOUT HABITABLE SPACES MAY PROJECT TO WITHIN 6'-6" OF THE FINISHED FLOOR AND BEAMS, GIRDERS, DUCTS OR OTHER OBSTRUCTIONS MAY PROJECT WITHIN 6'-4" OF THE FINISHED FLOOR

typical mechanical / hvac design notes

HEATING AND COOLING LOADS TO BE DETERMINED UTILIZING ACCA MANUAL J ROOM BY ROOM CALCULATION

EQUIPMENT TO BE SIZED UTILIZING ACCA MANUAL S; EVAPORATOR COIL AND CONDENSOR MUST MATCH AS REQUIRED FOR AHRI CERTIFICATE TO BE PROVIDED TO HOMEOWNER; COOLING CAPACITY TO BE MAXIMUM 100% OF CALCULATED TOTAL COOLING LOAD; HEATING CAPACITY TO BE MAXIMUM 400% OF HEATING LOAD

DUCT SYSTEM TO BE DESIGNED UTILIZING ACCA MANUAL D; NO BUILDING CAVITIES TO BE USED AS SUPPLY OR RETURN DUCTWORK; ALL DUCTWORK IN UNCONDITIONED SPACE TO HAVE MINIMUM R-5 INSULATION; ALL JOINTS IN ALL DUCTWORK (CONDITIONED AND UNCONDITIONED SPACES) WITH MASTIC (NO FOIL TAPE), SEAL REGISTER BOOTS TO SUBFLOOR OR DRYWALL; ANY FLEXIBLE DUCTWORK MUST BE INSTALLED WITHOUT KINKS, SHARP BENDS, COMPRESSION OR EXCESSIVE COILING; ALL BEDROOMS TO BE PRESSURE BALANCED (DEDICATED RETURN DUCT, TRANSFER GRILL, JUMP DUCT, ETC.)

AIR CONDITIONERS TO HAVE MINIMUM 13 SEER; GAS FURNACES TO HAVE MINIMUM 90 AFUE WITH COMBUSTION AIR SUPPLIED FROM OUTDOORS; AIR-SOURCE HEAT PUMPS TO HAVE MINIMUM 8.5 SEER / 14.5 SEER / 12 SEER; GAS BOILERS TO HAVE MINIMUM 85 AFUE (ENERGY STAR RATED); GEOTHERMAL HEAT PUMPS TO HAVE MINIMUM 11:1 EER AND 3.8 COP

ALL AIR HANDLERS TO UTILIZE ECM MOTORS AND MINIMUM MERV 6 FILTER WITH GASKETED ACCESS PANEL

INSTALL WHOLE HOUSE MECHANICAL VENTILATION WITH READILY ACCESSIBLE AND CLEARLY LABELED CONTROLS; VENTILATION RATE TO BE DETERMINED UTILIZING ASHRAE 62.2-2010 OR NEARER

ALL THERMOSTATS TO BE PROGRAMMABLE AND COMMUNICATING

ALL BATHROOM EXHAUST FANS TO BE ENERGY STAR CERTIFIED; MINIMUM INSTALLED AIRFLOW RATE OF 50 cfm (NOT JUST RATED FOR 50 cfm)

ALL KITCHEN EXHAUST SYSTEMS TO HAVE MINIMUM INSTALLED 100 cfm AIRFLOW RATE (NOT JUST RATED FOR 100 cfm)

MINIMUM SYSTEM COMMISSIONING:
- REFRIGERANT CHARGE: 13°F (TXV) OR 15°F OF DESIGN VALUE
- AIR HANDLER AIRFLOW: ±15% OF DESIGN RATE
- WHOLE HOUSE VENTILATION: 15 cfm OR 1.5% OF DESIGN RATE
- ROOM BY ROOM AIR BALANCING: ±20% OR ±25 cfm OF DESIGN AIRFLOW
- DUCT LEAKAGE TO OUTDOORS: MAXIMUM 4 cfm25 PER 100 sf
- TOTAL DUCT LEAKAGE FINAL TEST - MAXIMUM 8 cfm25 PER 100 sf OR
- ROUGH-IN TEST (AIR HANDLER AND ALL DUCTS INSTALLED; DUCT BOOTS SEALED TO FINISHED SURFACES) - MAXIMUM 4 cfm25 PER 100 sf

SEE MECHANICAL CONTRACTOR FOR FINAL DESIGN

plumbing design notes

KEEP ALL VERTICAL PLUMBING DROPS AGAINST EXTERIOR WALLS AND/OR INSIDE FINISHED PARTITIONS AS MUCH AS POSSIBLE; NOTIFY GENERAL CONTRACTOR PRIOR TO INSTALLATION

PROVIDE ACCESS PANELS TO UTILITIES IN FINISHED AREAS

GAS WATER HEATERS TO BE POWER VENTED WITH MINIMUM ENERGY FACTOR (EF) AS FOLLOWS: 50 GALLON - 0.54; 70 GALLON - 0.55; 80 GALLON - 0.53

SEE PLUMBING AND MECHANICAL CONTRACTORS FOR FINAL DESIGN

typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS; NO FULL THICKNESS VOIDS; NO COMPRESSION OF BATT INSULATION (SPRIGS AT KNEES/PIES, CUT OUT AROUND JUNCTION BOXES, ETC.) AND BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC.)

MINIMUM INSULATION R-VALUES:
CEILINGS - R-49
FRAME WALLS - R-20
FRAME FLOOR - R-18 (MUST FILL FLOOR JOIST CAVITY COMPLETELY)
FOUNDATION - R-10 CONTINUOUS OR R-13 AT FURRING CAVITY
SLAB FLOOR - R-10; 24" DEEP AT EXPOSED EDGES

- MINIMUM R-5 INSULATION AT WINDOW AND EXTERIOR DOOR HEADERS
- MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS
- MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR WALL INTERSECTIONS; SEE DETAIL X/A-10

MINIMUM 2'x3'0" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PERGOLAH CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT PLYWOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL ATTIC INSULATION

AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:
- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE)
- PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE)
- ROUGH OPENINGS AT WINDOWS AND DOORS (LOW EXPANSION SEALANT)
- EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYWALL, THERMO PLY, PLYWOOD, ETC.) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR BARRIER AT CROPPED CEILINGS/SOFFITS, CHASES, BEHIND TUB/SHOWER FIXTURES AND AT ATTIC KNEE WALLS; SEE DETAILS ON SHEET A-X

INSTALL SOLID BLOCKING (AND SEAL EDGES) BETWEEN FLOOR JOISTS BELOW ATTIC KNEE WALLS AND ABOVE GARAGE/HOUSE SEPARATION WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY UTILIZING BLOWER DOOR TEST

typical lower level bathroom notes

INSTALL CAST SHOWER BASE UNIT; INSTALL SHOWER HEAD AT 84" ABOVE FINISH FLOOR; INSTALL CERAMIC TILE OVER CEMENT BOARD BACKER AT WALLS TO SOFFIT; FRAME SOFFIT TO 46" ABOVE FINISH FLOOR; INSTALL TYPE II TEMPERED GLASS, FRAMELESS ENCLOSURE AND DOOR

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOOR ABOVE; ROCKWOOL® SAFE-N-SOUND BATTS OR EQUAL

VANITY HEIGHTS TO BE AT 36" ABOVE FINISH FLOOR; SEE CABINET SUPPLIER SHOP DRAWINGS FOR ALL OTHER INFORMATION

INSTALL FRAMED MIRRORS AS SELECTED BY OWNER

SEE OWNER FOR FINAL FIXTURE SELECTIONS

lower level interior finish notes

TYPICAL INTERIOR DOOR:
ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK X XX" HIGH X WIDTH ON PLAN; SOLID WOOD; VERIFY STYLE W/ OWNER

(3) FULL MORTISE BALL BEARING HINGES AT EACH DOOR; OWNER TO SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR OBSTRUCTIONS

TYPICAL WINDOW/DOOR CASING:
3-1/2" X 3/4" THICK STOCK; SOLID WOOD; VERIFY PROFILE AND FINISH WITH OWNER

TYPICAL BASE BOARD:
1-1/4" X 3/4" THICK STOCK WITH BASE SHOE; SOLID WOOD; VERIFY PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME:
POCKET DOORS IN 2X6 STUD WALL USING JOHNSON HARDWARE 2060 SERIES (2000 SERIES FOR 2X4 STUD WALL) HEAVY DUTY FRAMES WITH STEEL FURRING (MIN 400 LB DOOR CAPACITY)

srote & co

ARCHITECTS | PLANNERS | INTERIORS

2900 south brentwood blvd
brentwood, missouri
63144

telephone: 314.822.7006
toll free: 855.359.3516
website: www.sroteco.com

srote & company, llc
missouri certificate of authority
2013000205

project / location:

a new single family residence

**24 woodcrest drive
ladue, missouri
63124**

owner:

Ted & Suzanne Rafferty

builder / developer:

preliminary - not
for construction

no.	date	description
1	20200402	issue date:
2	20200402	phase:
3	20200402	construction documents
4	20200402	sheet title:
5	20200402	finished lower level plan
6	20200402	drawn by:
7	20200402	ras/kjn
8	20200402	checked by:
9	20200402	XXX
10	20200402	total pages in set:
11	20200402	20

architect's seal:

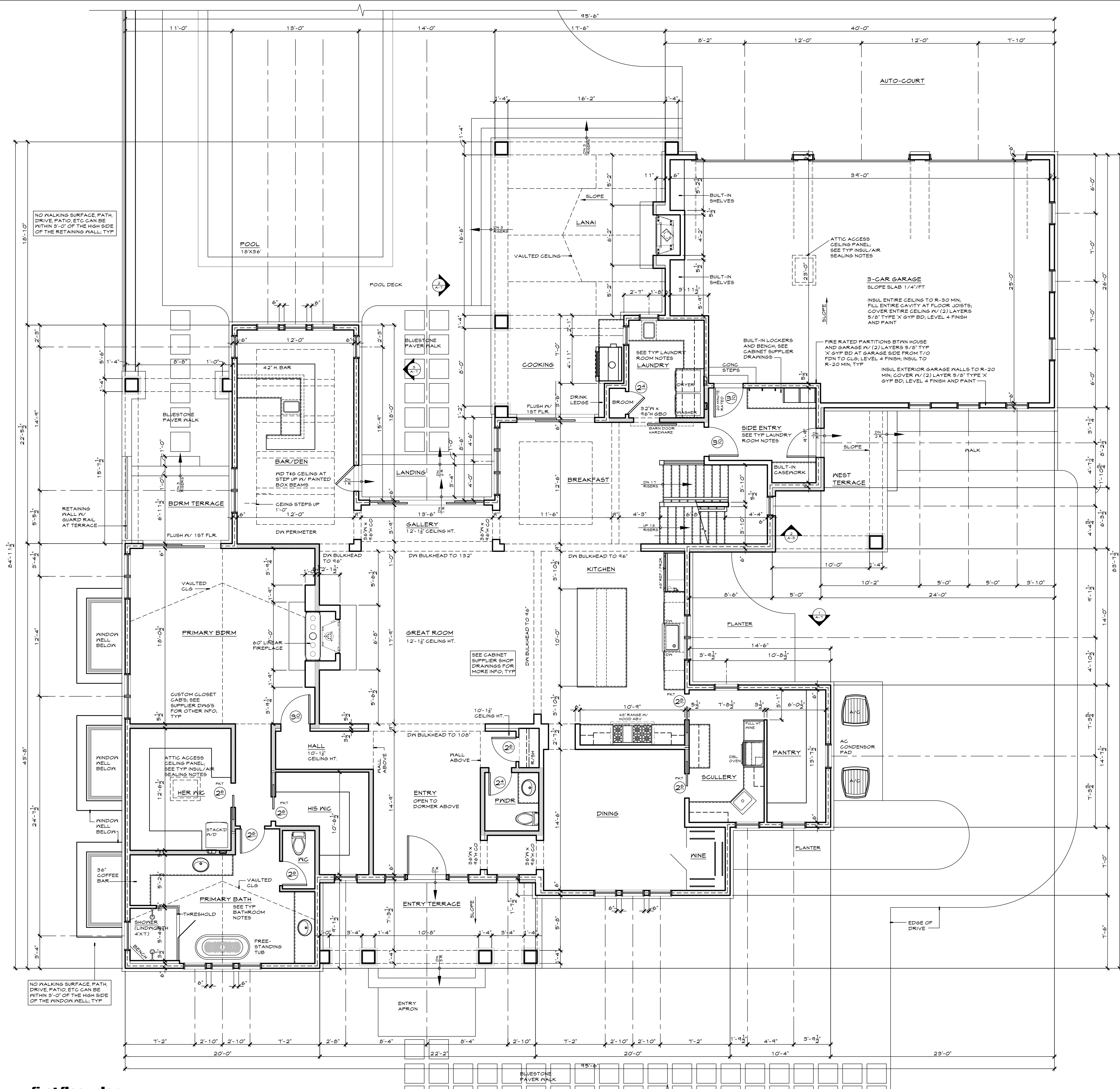
robert anthony srote - architect
A-20200402

sheet no:

A-1

project number:

22-056



wall legend	
thermal enclosure partition (insulate & air seal)	
sound insulated partition	
masonry veneer	
cmu	

typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS:
NO FULL THICKNESS VOIDS, NO COMPRESSION OF BATT INSULATION
(SPURGE AT WRES/PFES, CUT OUT AROUND JUNCTION BOXES, ETC.) AND
BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY
MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC.)

MINIMUM INSULATION R-VALUES:

CEILING -	R-4.9
FRAME WALLS -	R-20
FRAME FLOOR -	R-14 (MUST FILL FLOOR JOIST CAVITY COMPLETELY)
FOUNDATION -	R-10 CONTINUOUS OR R-19 AT FURRING CAVITY
SLAB FLOOR -	R-10, 24" DEEP AT EXPOSED EDGES

- MINIMUM R-9 INSULATION AT WINDOW AND EXTERIOR DOOR HEADERS
- MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS
- MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR
WALL INTERSECTIONS, SEE DETAIL X/A-10

MINIMUM 22"x30" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH
ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE
OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PRODUCE
CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT
PLYWOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL
ATTIC INSULATION

AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:

- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE)
- PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE)
- ROUGH OPENINGS AT WINDOWS AND DOORS (LOW EXPANSION SEALANT)
- EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYWALL, THERMO PLY,
PLYWOOD, ETC.) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR
BARRIER AT DROPPED CEILING/SOFFITS, CHASES, BEHIND TUB/SHOWER
FIXTURES AND AT ATTIC KNEE WALLS; SEE DETAILS ON SHEET A-X

INSTALL SOLID BLOCKING (AND SEAL EDGES) BETWEEN FLOOR JOISTS
BELOW ATTIC KNEE WALLS AND ABOVE GARAGE/HOUSE SEPARATION
WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY
UTILIZING BLOWER DOOR TEST

typical first floor bathroom notes

SHOWER / TUB:
INSTALL CAST-IRON TUB UNIT; INSTALL SHOWER HEAD AT 84" ABOVE
FINISH FLOOR; INSTALL CERAMIC TILE OVER CEMENT BOARD BACKER AT
WALLS TO SOFFIT; FRAME SOFFIT TO 96" ABOVE FINISH FLOOR; INSTALL
CURVED CURTAIN ROD

SHOWER ONLY:
INSTALL CAST SHOWER BASE UNIT; INSTALL SHOWER HEAD AT 84" ABOVE
FINISH FLOOR; INSTALL CERAMIC TILE OVER CEMENT BOARD BACKER AT
WALLS TO SOFFIT; FRAME SOFFIT TO 96" ABOVE FINISH FLOOR; INSTALL
TYPE II TEMPERED GLASS, FRAMELESS ENCLOSURE AND DOOR

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND
FLOORS ABOVE AND BELOW; "ROCKWOOL" SAFE-N-SOUND BATTs OR
EQUAL

VANITY HEIGHTS TO BE AT 36" ABOVE FINISH FLOOR; SEE CABINET
SUPPLIER SHOP DRAWINGS FOR ALL OTHER INFORMATION

INSTALL FRAMED MIRRORS AS SELECTED BY OWNER

SEE OWNER FOR FINAL FIXTURE SELECTIONS

first floor laundry room notes

INSTALL HIGH DRAIN AND HOT AND COLD WATER SUPPLY AS REQUIRED;
VERIFY LOCATIONS WITH APPLIANCE SELECTION REQUIREMENTS

INSTALL RECESSED DRYER VENT BOX IN FRAME WALL; VENT DRYER TO
EXTERIOR IN AN APPROVED MANNER

INSTALL CERAMIC TILE FLOORING OVER WATERPROOF MEMBRANE,
SCHLUTER OR EQUAL; CONTINUE MEMBRANE UP SIDE WALL 6" MINIMUM;
SLOPE TO CENTER DRAIN; INSTALL TILE BASE

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND
FLOOR BELOW; "ROCKWOOL" SAFE-N-SOUND BATTs OR EQUAL

OPTIONAL: INSTALL 1/2" THICK HOMASOTE SOUND BOARD UNDER
GYPSUM BOARD FOR ADDITIONAL SOUND CONTROL

OPTIONAL: INSTALL WEATHERSTRIPPING AND SNEEP AT DOOR FOR
SOUND CONTROL

first floor interior finish notes

TYPICAL INTERIOR DOOR:
ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK X 96" HIGH X
WIDTH ON PLAN; SOLID WOOD; VERIFY STYLE W/ OWNER

(3) FULL MORTISE BALL BEARING HINGES AT EACH DOOR; OWNER TO
SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR
OBSTRUCTIONS

TYPICAL WINDOW/DOOR CASING:
3-1/2" X 5/4" THICK STOCK; SOLID WOOD; VERIFY PROFILE AND FINISH
W/TH OWNER

TYPICAL BASE BOARD:
1-1/4" X 3/4" THICK STOCK WITH BASE SHOE; SOLID WOOD; VERIFY
PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME:
POCKET DOORS IN 2X8 STUD WALL USING JOHNSON HARDWARE 2060
SERIES (2000 SERIES FOR 2X4 STUD WALL) HEAVY DUTY FRAMES WITH
STEEL FURRING (MIN 400 LB DOOR CAPACITY)

1 first floor plan

scale: 1/4" = 1'-0"

srote & co

ARCHITECTS | PLANNERS | INTERIORS

2900 south brentwood blvd
brentwood, missouri
63144

telephone: 314.822.7006
toll free: 855.358.3516
website: www.sroteco.com

srote & company, llc
missouri certificate of authority
2013000205

project / location:
a new single family
residence
24 woodcrest drive
ladue, missouri
63124
owner:
Ted & Suzanne
Rafferty
builder / developer:

preliminary - not
for construction

date
description

issue date:
phase:
sheet title:
drawn by:
checked by:
total pages in set:

architect's seal:
robert anthony srote - architect
A-2020040002
sheet no:
project number:

22-056

srote & co

ARCHITECTS | PLANNERS | INTERIORS

2900 south brentwood blvd

brentwood, missouri 63144

telephone: 314.822.7006

toll free: 855.359.3516

website: www.sroteco.com

srote & company, llc

missouri certificate of authority

2013000205

project / location:

a new single family residence

24 woodcrest drive

ladue, missouri 63124

owner:

Ted & Suzanne Rafferty

project / location:
a new single family residence

24 woodcrest drive
ladue, missouri
63124

owner:
Ted & Suzanne
Rafferty

builder / developer:

preliminary - not
for construction

date	description
issue date:	july XI, 2022
phase:	construction documents
sheet title:	second floor plan
drawn by:	ras/kjn
checked by:	xxx
total pages in set:	20

architect's seal:

robert anthony srote - architect

the professional architect's seal shall be the seal of the architect only in the state of missouri. it shall not be used for any other purpose. no alteration or modification of the seal shall be made without the written consent of the architect. the seal shall be the property of the architect and shall be returned to the architect upon completion of the project.

sheet no:

A-3

project number:

22-056

wall legend	
thermal enclosure partition (insulate & air seal)	
sound insulated partition	
masonry veneer	
cmu	

typical second floor bathroom notes

SHOWER / TUB:
INSTALL CAST-IRON TUB UNIT; INSTALL SHOWER HEAD AT 84" ABOVE FINISH FLOOR; INSTALL CERAMIC TILE OVER GEMENT BOARD BACKER AT WALLS TO CEILING; INSTALL CURVED CURTAIN ROD

SHOWER ONLY:
INSTALL CAST SHOWER BASE UNIT; INSTALL SHOWER HEAD AT 84" ABOVE FINISH FLOOR; INSTALL CERAMIC TILE OVER GEMENT BOARD BACKER AT WALLS TO CEILING; INSTALL TYPE I TEMPERED GLASS, FRAMELESS ENCLOSURE AND DOOR

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOOR BELOW; 'ROCKWOOL' 'SAFE-N-SOUND' BATTS OR EQUAL

VANITY HEIGHTS TO BE AT 36" ABOVE FINISH FLOOR; SEE CABINET SUPPLIER SHOP DRAWINGS FOR ALL OTHER INFORMATION

INSTALL FRAMED MIRRORS AS SELECTED BY OWNER

SEE OWNER FOR FINAL FIXTURE SELECTIONS

second floor laundry room notes

INSTALL HIGH DRAIN AND HOT AND COLD WATER SUPPLY AS REQUIRED; VERIFY LOCATIONS WITH APPLIANCE SELECTION REQUIREMENTS

INSTALL RECESSED DRYER VENT BOX IN FRAME WALL; VENT DRYER TO EXTERIOR IN AN APPROVED MANNER

INSTALL CERAMIC TILE FLOORING OVER WATERPROOF MEMBRANE; SCLUTER OR EQUAL; CONTINUE MEMBRANE UP SIDE WALL 6" MINIMUM; SLOPE TO CENTER DRAIN; INSTALL TILE BASE

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOOR BELOW; 'ROCKWOOL' 'SAFE-N-SOUND' BATTS OR EQUAL

OPTIONAL: INSTALL 1/2" THICK HOMASOTE SOUND BOARD UNDER GYPSUM BOARD FOR ADDITIONAL SOUND CONTROL

OPTIONAL: INSTALL WEATHERSTRIPPING AND SWEEP AT DOOR FOR SOUND CONTROL

second floor mechanical room notes

SET FURNACE UNIT IN OVERFLOW METAL DRAIN PAN; PAN TO BE CUSTOM MADE TO FIT WALL TO WALL

PROVIDE SOUND BATT INSULATION IN ALL SURROUNDING WALLS AND FLOOR BELOW; 'ROCKWOOL' 'SAFE-N-SOUND' BATTS OR EQUAL

OPTIONAL: INSTALL 1/2" THICK HOMASOTE SOUND BOARD UNDER GYPSUM BOARD FOR ADDITIONAL SOUND CONTROL

OPTIONAL: INSTALL WEATHERSTRIPPING AND SWEEP AT DOOR FOR SOUND CONTROL

SEE TYPICAL MECHANICAL/HVAC DESIGN NOTES ON SHEET A-X; MECHANICAL CONTRACTOR ALSO REFER TO ARCHITECT'S SPECIFICATION SHEETS N-1 AND N-2 FOR ADDITIONAL DESIGN REQUIREMENTS PRIOR TO SUBMITTING BID AND FINAL DESIGN / SHOP DRAWINGS

SEE MECHANICAL CONTRACTOR SHOP DRAWINGS FOR UNIT SPECIFICATIONS, SIZING CALCULATIONS, DUCTWORK LAYOUT AND COMBUSTION AIR REQUIREMENTS AS NEEDED

second floor interior finish notes

TYPICAL INTERIOR DOOR:
ALL DOORS OF THIS FLOOR LEVEL ARE TO BE 1-3/4" THICK X 84" HIGH X WIDTH ON PLAN, SOLID WOOD; X PANEL; VERIFY STYLE W/ OWNER

(3) FULL MORTISE BALL BEARING HINGES AT EACH DOOR; OWNER TO SELECT FINISH; VERIFY HINGE LOCATIONS IN FIELD TO CLEAR OBSTRUCTIONS

TYPICAL WINDOW/DOOR CASING:
3-1/2" X 3/4" THICK STOCK; SOLID WOOD; VERIFY FINISH WITH OWNER

TYPICAL BASE BOARD:
1-1/4" H X 3/4" THICK STOCK WITH BASE SHOE; SOLID WOOD; VERIFY PROFILE AND FINISH WITH OWNER

POCKET DOOR FRAME:
POCKET DOORS IN 2X6 STUD WALL USING JOHNSON HARDWARE 2060 SERIES (2000 SERIES FOR 2X4 STUD WALL) HEAVY DUTY FRAMES WITH STEEL FURRING (MIN 400 LB DOOR CAPACITY)

typical insulation / air sealing notes

ALL INSULATION TO MEET GRADE 1 INSTALLATION REQUIREMENTS; NO FULL THICKNESS VOIDS; NO COMPRESSION OF BATT INSULATION (SPlice AT WIRES/PIPBES, CUT OUT AROUND JUNCTION BOXES, ETC) AND BLOWN INSULATION INSTALLED AT DENSITY RECOMMENDED BY MANUFACTURER SPECIFIC TO EACH APPLICATION (WALL, ATTIC, ETC)

MINIMUM INSULATION R-VALUES:

CEILING -	R-11
FRAME WALLS -	R-20
FRAME FLOOR -	R-19 (MUST FILL FLOOR JOIST CAVITY COMPLETELY)
FOUNDATION -	R-10 CONTINUOUS OR R-19 AT FURRING CAVITY
SLAB FLOOR -	R-10, 2" DEEP AT EXPOSED EDGES

- MINIMUM R-9 INSULATION AT WINDOW AND EXTERIOR DOOR HEADERS
- MINIMUM R-6 INSULATION AT ALL EXTERIOR WALL CORNERS
- MAINTAIN MINIMUM WALL INSULATION R-VALUE AT INTERIOR / EXTERIOR WALL INTERSECTIONS; SEE DETAIL X-A-10

MINIMUM 22"x30" ATTIC ACCESS PANEL; INSULATION (R-VALUE TO MATCH ADJACENT CONSTRUCTION) TO BE SECURELY FASTENED TO ATTIC SIDE OF PANELS; INSTALL CONTINUOUS PERIMETER GASKET TO PRODUCE CONTINUOUS AIR SEAL WHEN NOT ACCESSING ATTIC; INSTALL PERMANENT PLYWOOD DAM AROUND CEILING OPENINGS TO HOLD BACK LOOSE FILL ATTIC INSULATION

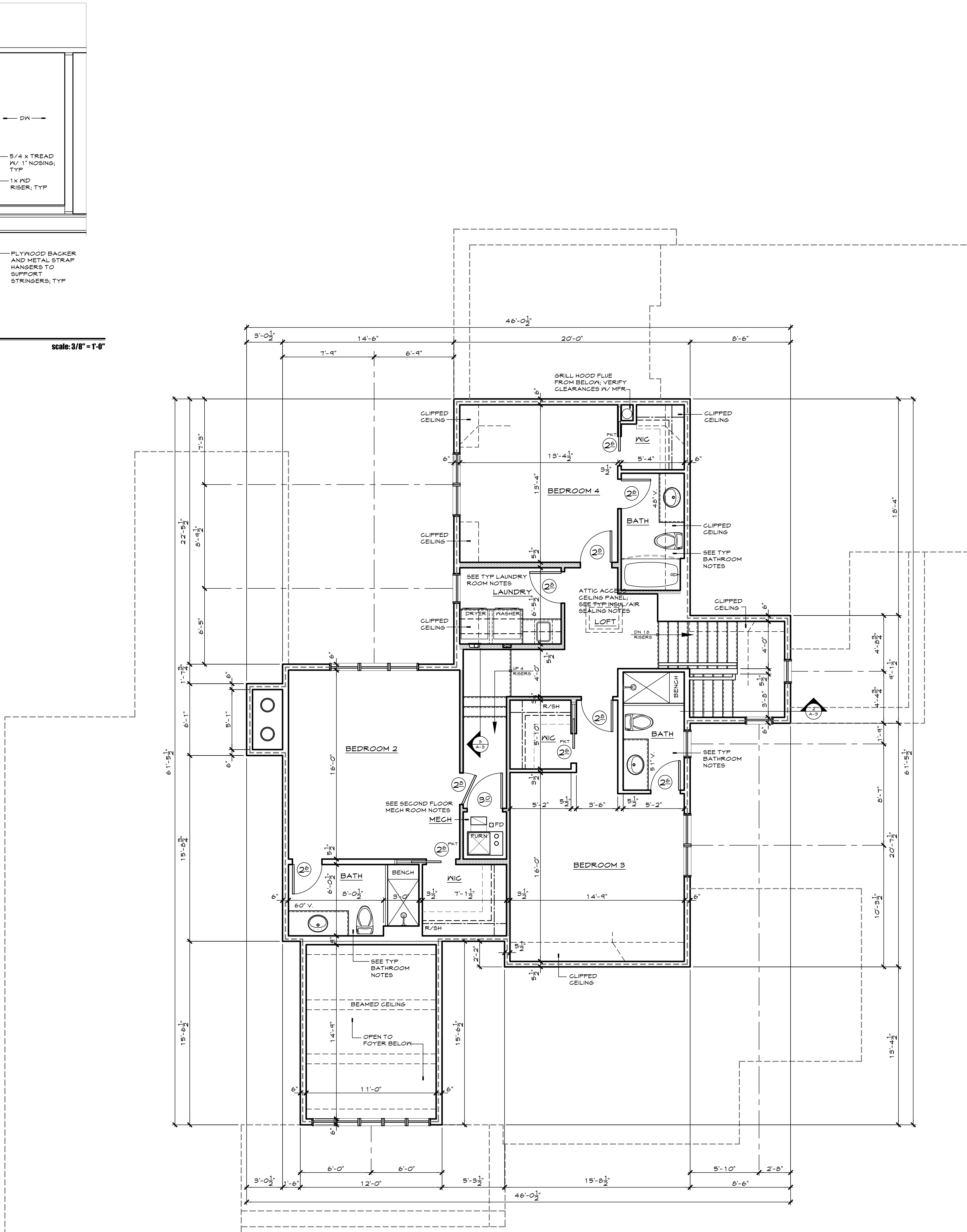
AIR SEAL FOLLOWING LOCATIONS WITH SPRAY FOAM OR CAULK:

- PARTITION TOP PLATE / DRYWALL CEILING JOINTS (ATTIC ABOVE)
- PENETRATIONS IN PARTITION TOP PLATES (ATTIC ABOVE)
- ROUGH OPENINGS AT WINDOWS AND DOORS (LOW EXPANSION SEALANT)
- EXTERIOR WALL BOTTOM PLATE / SUBFLOOR JOINT

INSTALL DURABLE SHEATHING MATERIAL (DRYWALL, THERMO PLY, PLYWOOD, ETC) TO MAINTAIN ALIGNMENT OF INSULATION AND AIR BARRIER AT DROPPED CEILINGS/SOFFITS, CHASES, BEHIND TUB/SHOWER FIXTURES AND AT ATTIC KNEE WALLS; SEE DETAILS ON SHEET A-X

INSTALL SOLID BLOCKING (AND SEAL EDGES) BETWEEN FLOOR JOISTS BELOW ATTIC KNEE WALLS AND ABOVE GARAGE/HOUSE SEPARATION WALLS

MAXIMUM WHOLE HOUSE INFILTRATION RATE - 4.0 ACH50; VERIFY UTILIZING BLOWER DOOR TEST

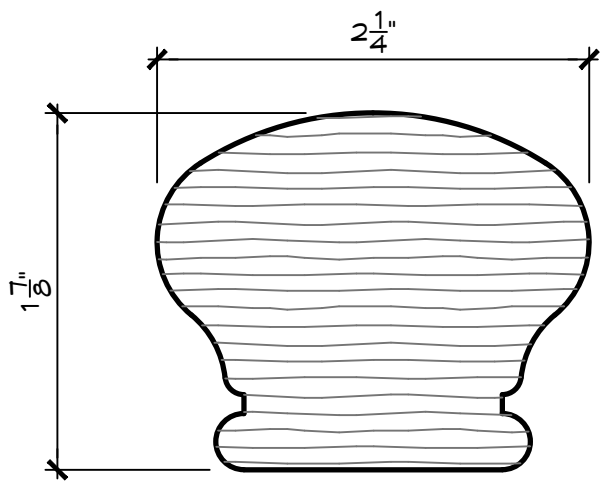
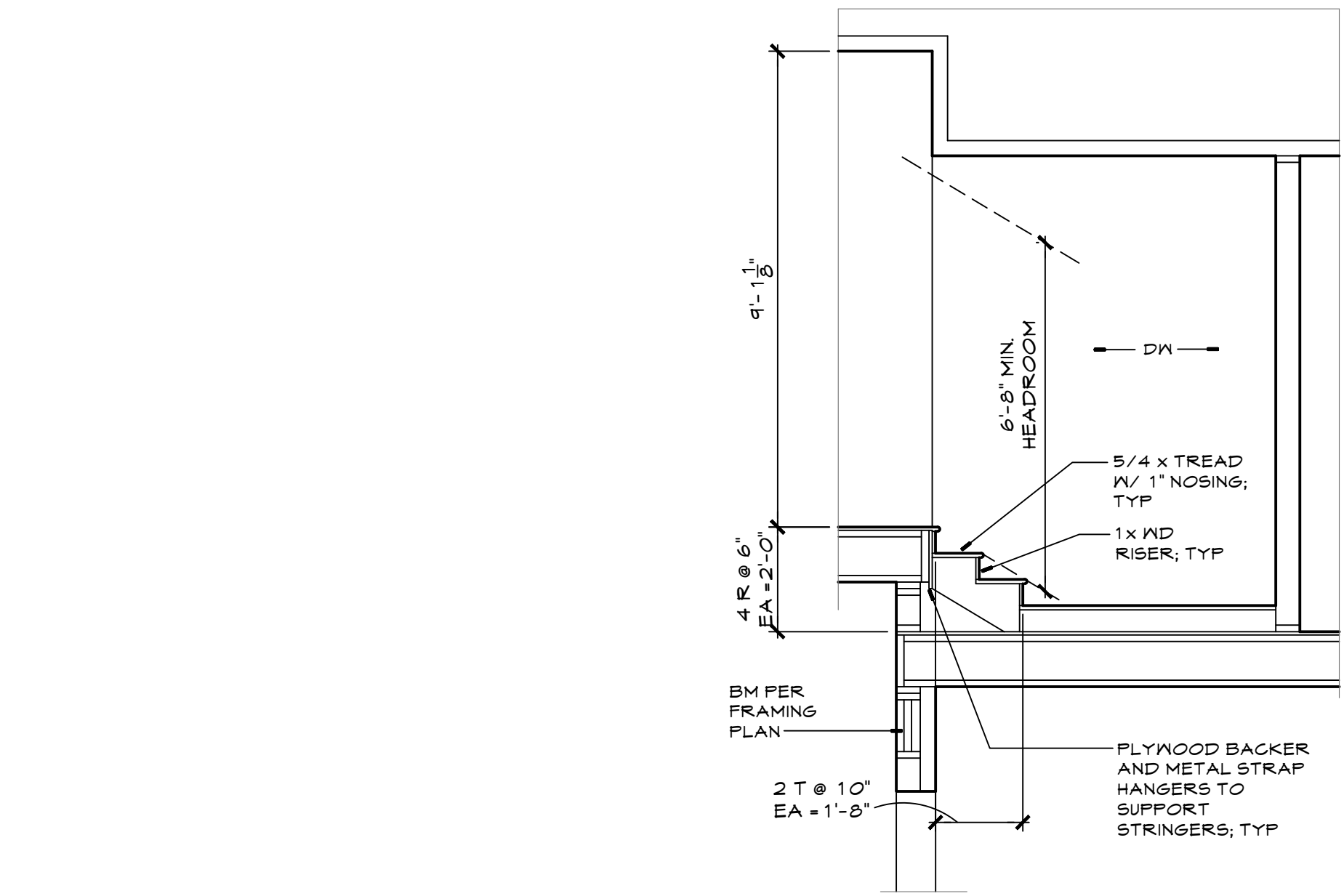


scale: 1/4" = 1'-0"

1 second floor plan

3 stair section

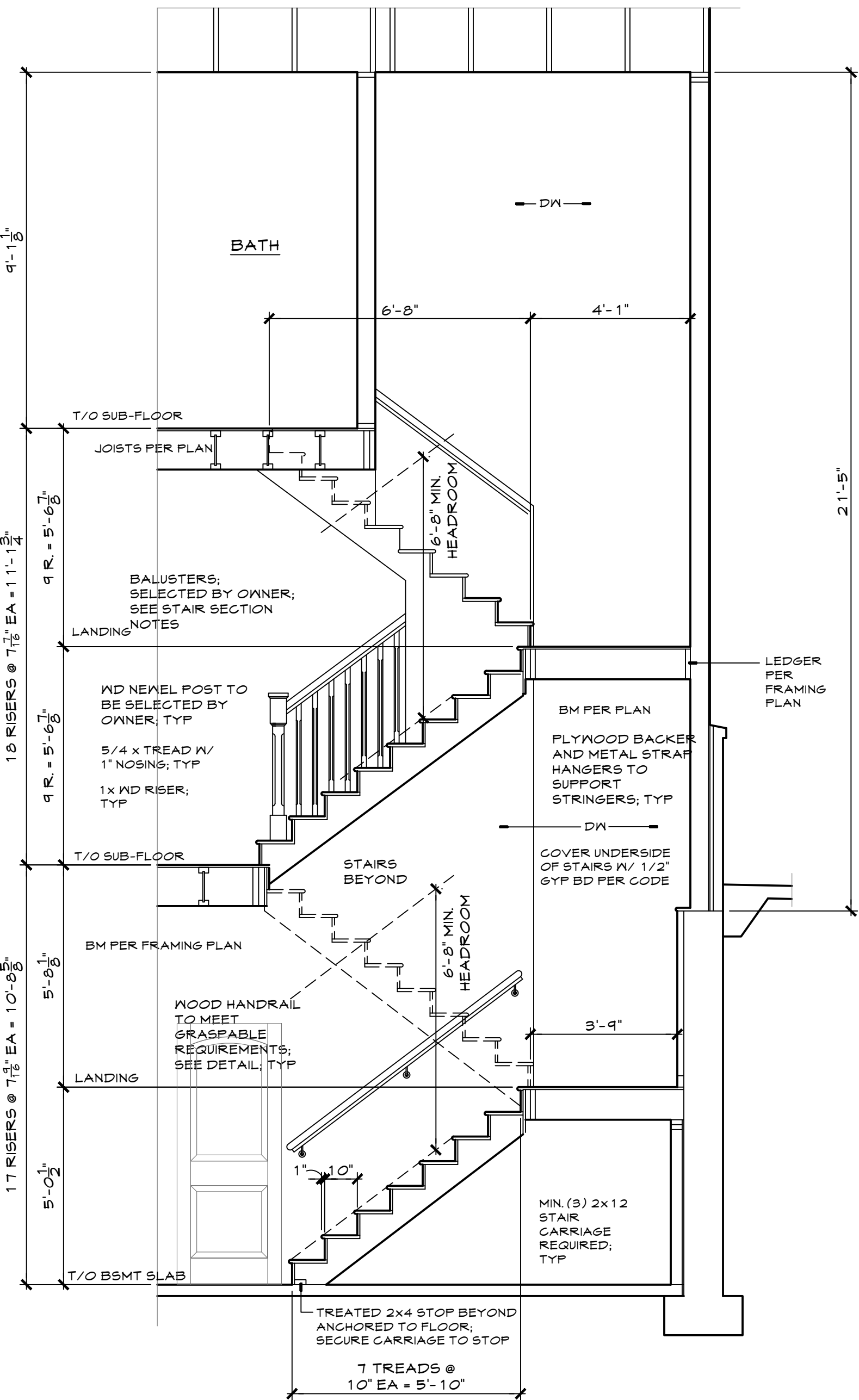
scale: 3/8" = 1'-0"



handrail profile

NOTE: THIS SHAPE OR OTHER APPROVED SHAPES TO HAVE 2 1/4" MAX HORIZ WIDTH 4" MIN AND 6 1/4" MAX GRASPABLE PERIMETER DIMENSION

full scale



stair section notes:

RISERS MUST BE SOLID OR HAVE A TOE BOARD OR OTHER APPROVED GUARD METHOD WHICH LIMITS THE RISER OPENING TO LESS THAN 4"; OPEN RISERS WITHOUT A TOE BOARD OR OTHER APPROVED GUARD ARE PROHIBITED; EXCEPTION: THE OPENING BETWEEN ADJACENT TREADS IS NOT LIMITED ON STAIRS WITH A TOTAL RISE OF 30' OR LESS

OPEN GUARDS SHALL HAVE INTERMEDIATE VERTICAL BALUSTERS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH; EXCEPTION: OPENINGS ON THE SIDE(S) OF A STAIR SHALL HAVE BALUSTERS SPACED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH

2 stair section

scale: 3/8" = 1'-0"

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missouri certificate of authority
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project / location:

a new single family residence

24 woodcrest drive
ladue, missouri
63124

owner:

Ted & Suzanne Rafferty

builder / developer:

date

description

issue date:

July XL, 2022

phase:

construction documents

sheet title:

roof plan

drawn by:

ras/kjn

checked by:

XXX

total pages in set:

20

architect's seal:

robert anthony srote - architect
A-2020040052

sheet no:

A-4

project number:

22-056

notify the architect in events of discrepancies, omissions, and / or conflicts in the drawings or specifications. the contractor is not authorized to scale the drawings. all questions in reference to contract documents should be immediately directed to the architect.

preliminary - not for construction

garage roof venting requirements:

main house roof venting requirements:

gutter and downspout note

cornice / truss heel note

typical roof shingle note

typical roof flashing notes

typical roof sheathing / overframing note

attic ventilation note:

typical ridge vent note

scale: 1/4" = 1'-0"

1 roof plan

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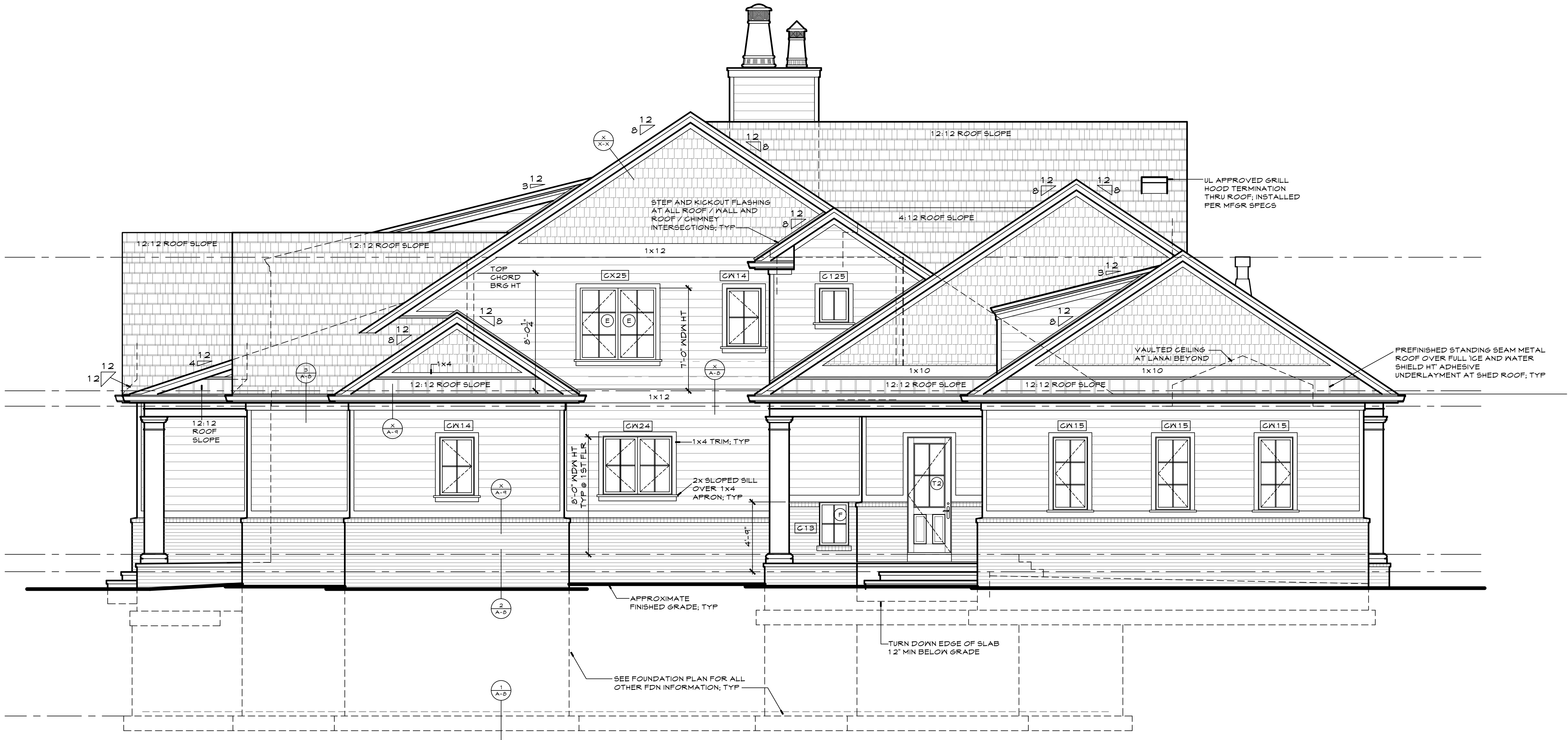
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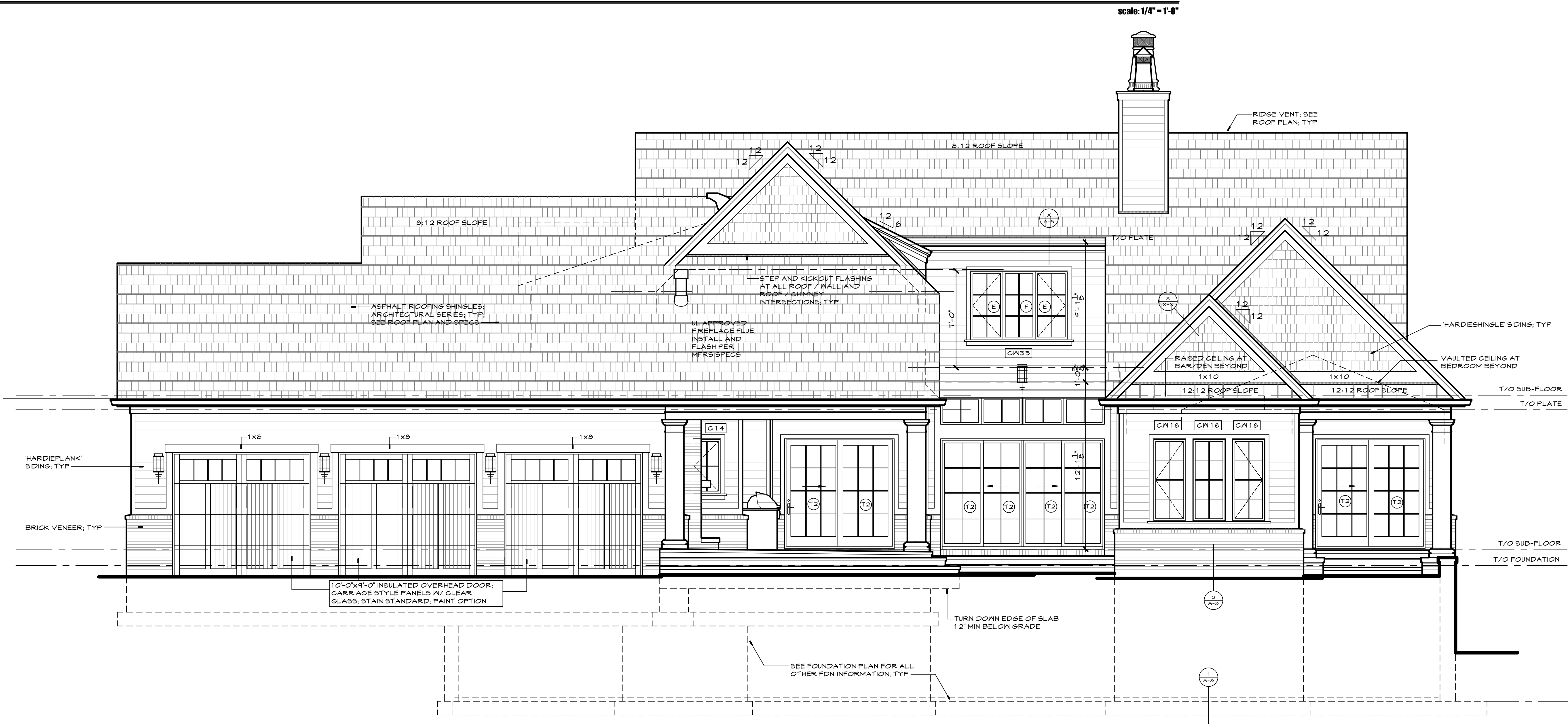
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scale:



2 right side elevation



1 rear elevation

typical exterior door information:

EXTERIOR DOOR DESIGNATIONS ARE GENERIC CALLOUTS IN FOOT 4 INCHES (WIDTH X HEIGHT); DOORS ARE TO BE EXTRUDED ALUMINUM GLAD; COLOR TO MATCH WINDOWS; 2\"/>

typical exterior window information:

WINDOW DESIGNATIONS ARE "ANDERSEN" 400 SERIES; WINDOWS ARE TO BE EXTRUDED ALUMINUM GLAD; COLOR TO BE CHOSEN BY OWNER; FACTORY MULL UNITS WHEN POSSIBLE; FACTORY APPLIED JAMB EXTENSION AS REQUIRED; 7/8\"/>

general elevation notes:

FOOTINGS AND PIERS SHALL EXTEND A MINIMUM OF 2'-6\"/>

window / door symbol schedule

- (E) EGRESS REQUIREMENTS APPLY
- (F) FIXED UNIT
- (T) TYPE I SAFETY GLASS REQUIRED
- (T2) TYPE II SAFETY GLASS REQUIRED
- (P) PASSIVE DOOR UNIT
- (A) ACTIVE DOOR UNIT
- (LD) OPERATION LIMITING CONTROL DEVICE

srote & co
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missouri certificate of authority 2013000205

project / location:
a new single family residence
24 woodcrest drive
ladue, missouri 63124
owner:
Ted & Suzanne Rafferty

builder / developer:

preliminary - not for construction

date	description
July XX, 2022	construction documents
sheet title:	rear and right side elevations
drawn by:	ras/kjn
checked by:	XXX
total pages in set:	20

architect's seal:
robert anthony srote - architect
A-2020040052
sheet no:
A-6
project number:
22-056

typical exterior door information:

EXTERIOR DOOR DESIGNATIONS ARE GENERIC CALLOUTS IN FOOT 4 INCHES (WIDTH x HEIGHT). DOORS ARE TO BE EXTRUDED ALUMINUM GLAD, COLOR TO MATCH WINDOWS, 2" BRICK MOULD WHEN UNIT IS SET IN MASONRY, XXX FINISH ON HINGES, PREPARE FOR HANDSET AND LOCK BY OTHERS

typical exterior window information:

WINDOW DESIGNATIONS ARE "ANDERSEN" 400 SERIES, WINDOWS ARE TO BE EXTRUDED ALUMINUM GLAD, COLOR TO BE CHOSEN BY OWNER, FACTORY MULL UNITS WHEN POSSIBLE, FACTORY APPLIED JAMB EXTENSION AS REQUIRED, 7/8" INDE SIMULATED DIVIDED LITE MUNTINS TO MATCH ELEVATIONS, MAXIMUM U-FACTOR 0.32, MAXIMUM SHGC 0.40, INTERIOR FRAMES TO BE PRIMED AND READY FOR PAINT UNLESS NOTED OTHERWISE, HARDWARE TO HAVE XXX FINISH

general elevation notes:

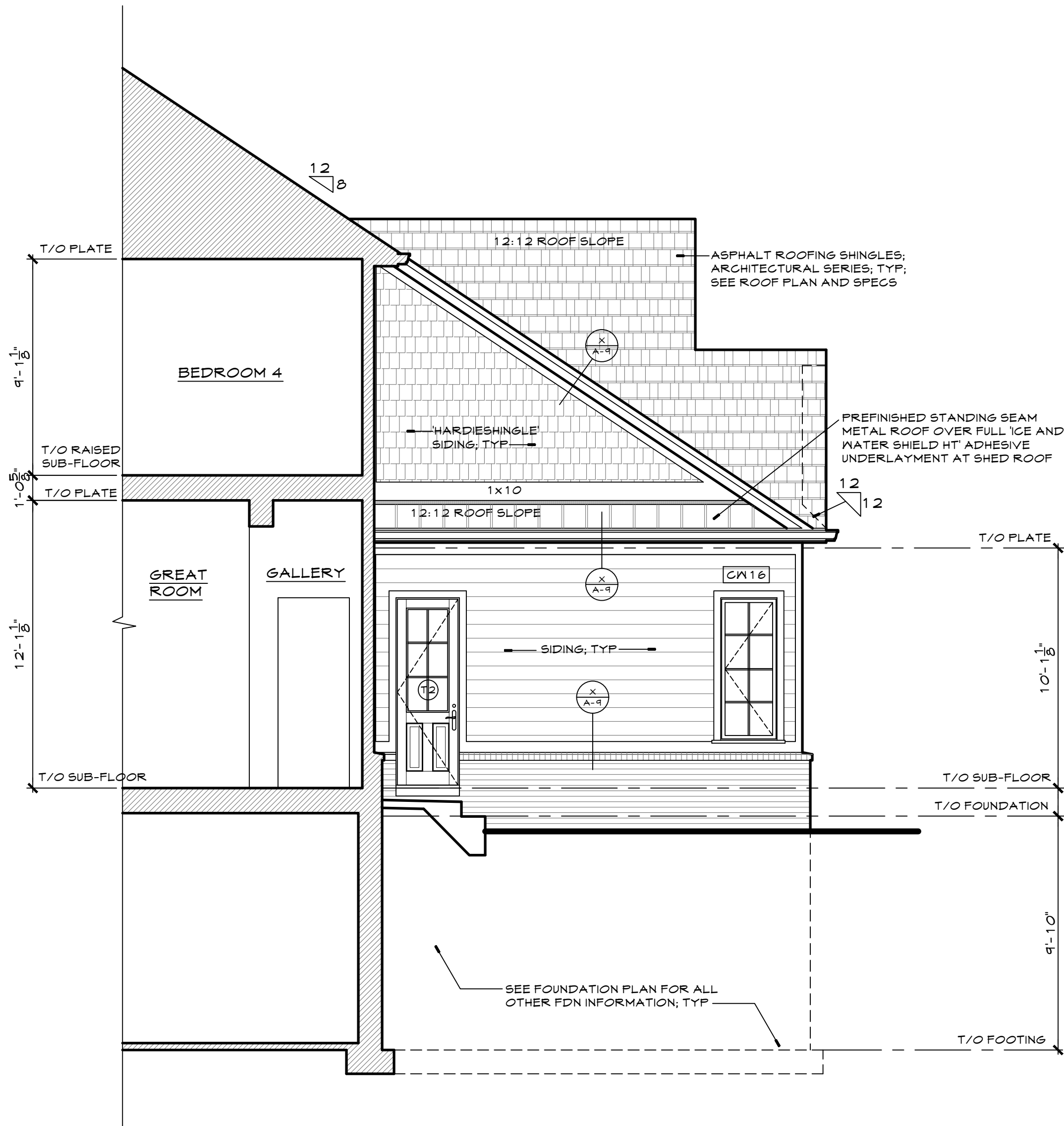
FOOTINGS AND PIERS SHALL EXTEND A MINIMUM OF 2'-6" BELOW FINISHED GRADE AND BEAR DIRECTLY ON SUITABLE BEARING STRATA
CHIMNEYS SHALL EXTEND MINIMUM 3'-0" ABOVE THE ROOF AT THE POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'-0" HORIZONTALLY
PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER 2015 IRC SECTION R314.1
GENERAL CONTRACTOR SHALL CONFIRM REQUIRED INSTALLATION KITS, MODEL NUMBERS AND AVAILABILITY OF ALL TRIM ACCESSORIES WITH SUPPLIER PRIOR TO ORDERING

window / door symbol schedule

- (E) EGRESS REQUIREMENTS APPLY
- (F) FIXED UNIT
- (T) TYPE I SAFETY GLASS REQUIRED
- (T2) TYPE II SAFETY GLASS REQUIRED
- (P) PASSIVE DOOR UNIT
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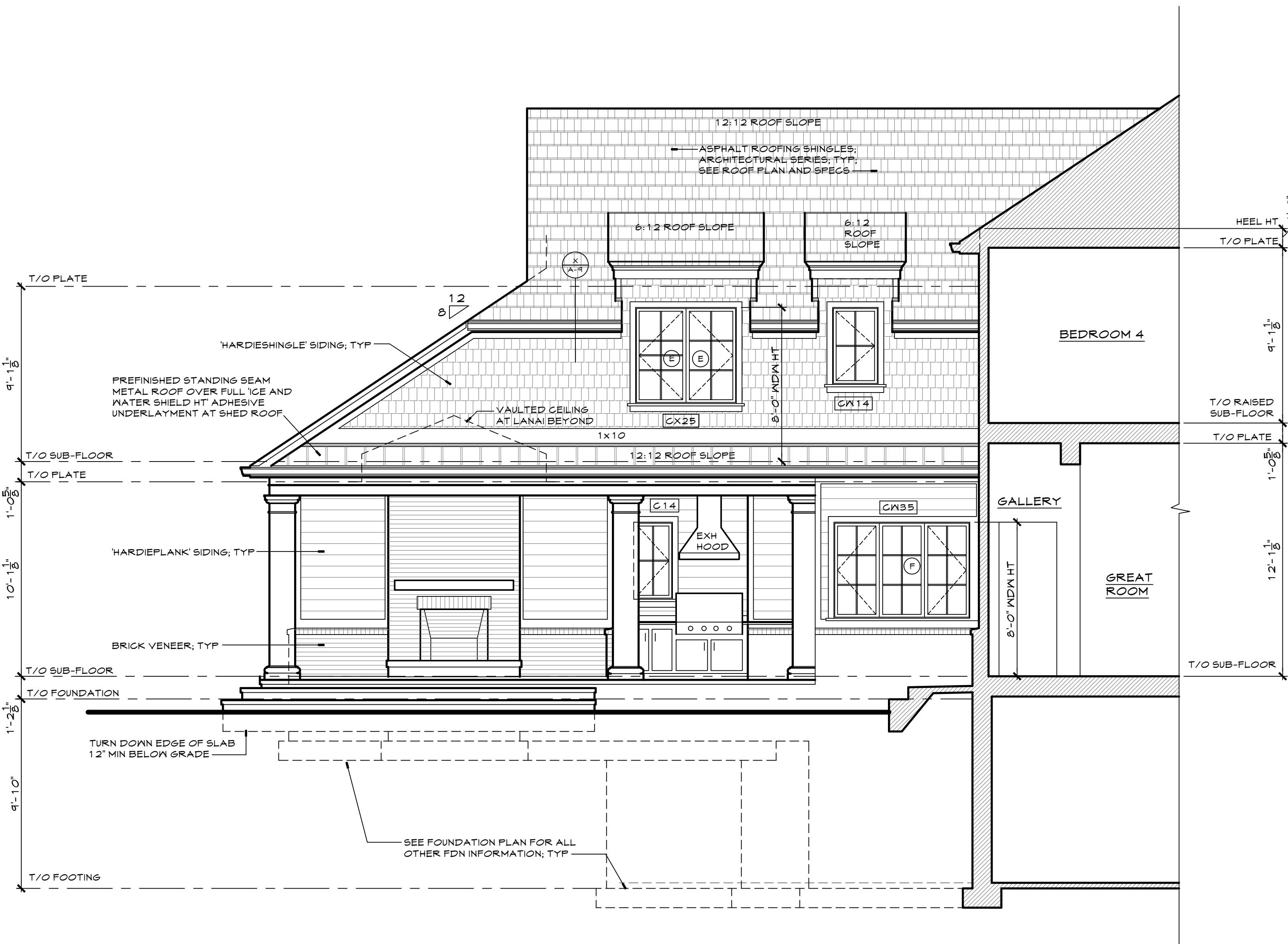
typical brick lintel note:

- [L-1] L 3'-1/2" x 3'-1/2" x 5/16" THICK
- [L-2] L 5' x 3'-1/2" x 5/16" THICK; LLV
- [L-3] L 6' x 3'-1/2" x 5/16" THICK; LLV
- [L-4] L 7' x 4' x 3/8" THICK; LLV
- ALL STEEL BRICK LINTELS TO HAVE 8" MINIMUM BEARING AT EACH END



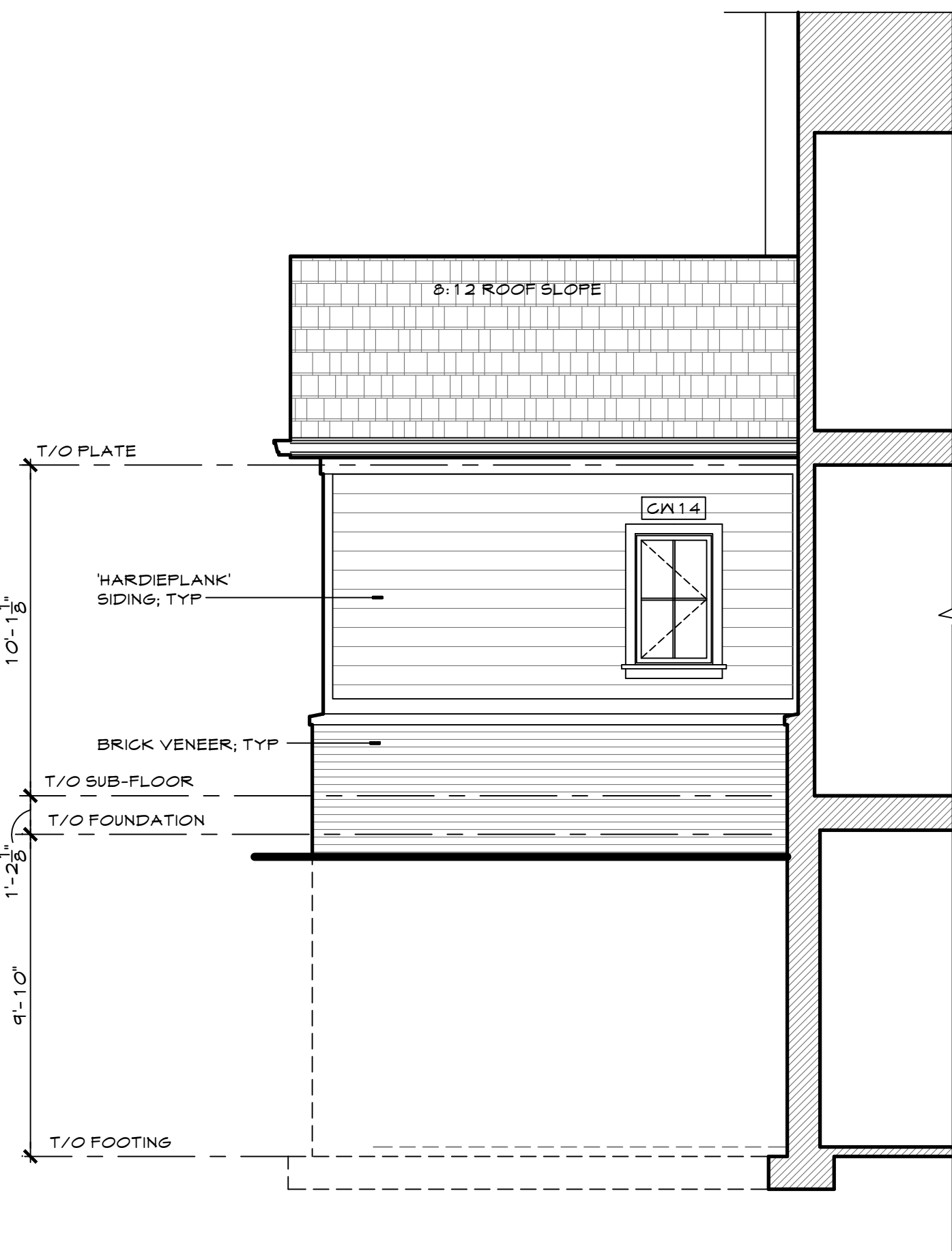
3 partial right side elevation

scale: 1/4" = 1'-0"



2 partial left side elevation

scale: 1/4" = 1'-0"



1 partial rear elevation

scale: 1/4" = 1'-0"

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total pages in set: 20

architect's seal:
robert anthony srote - architect
A-2020040052
sheet no:
A-7
project number: 22-056



HOUSE TO THE LEFT



HOUSE TO THE RIGHT



HOUSE ACROSS THE STREET